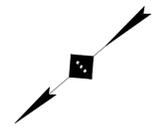
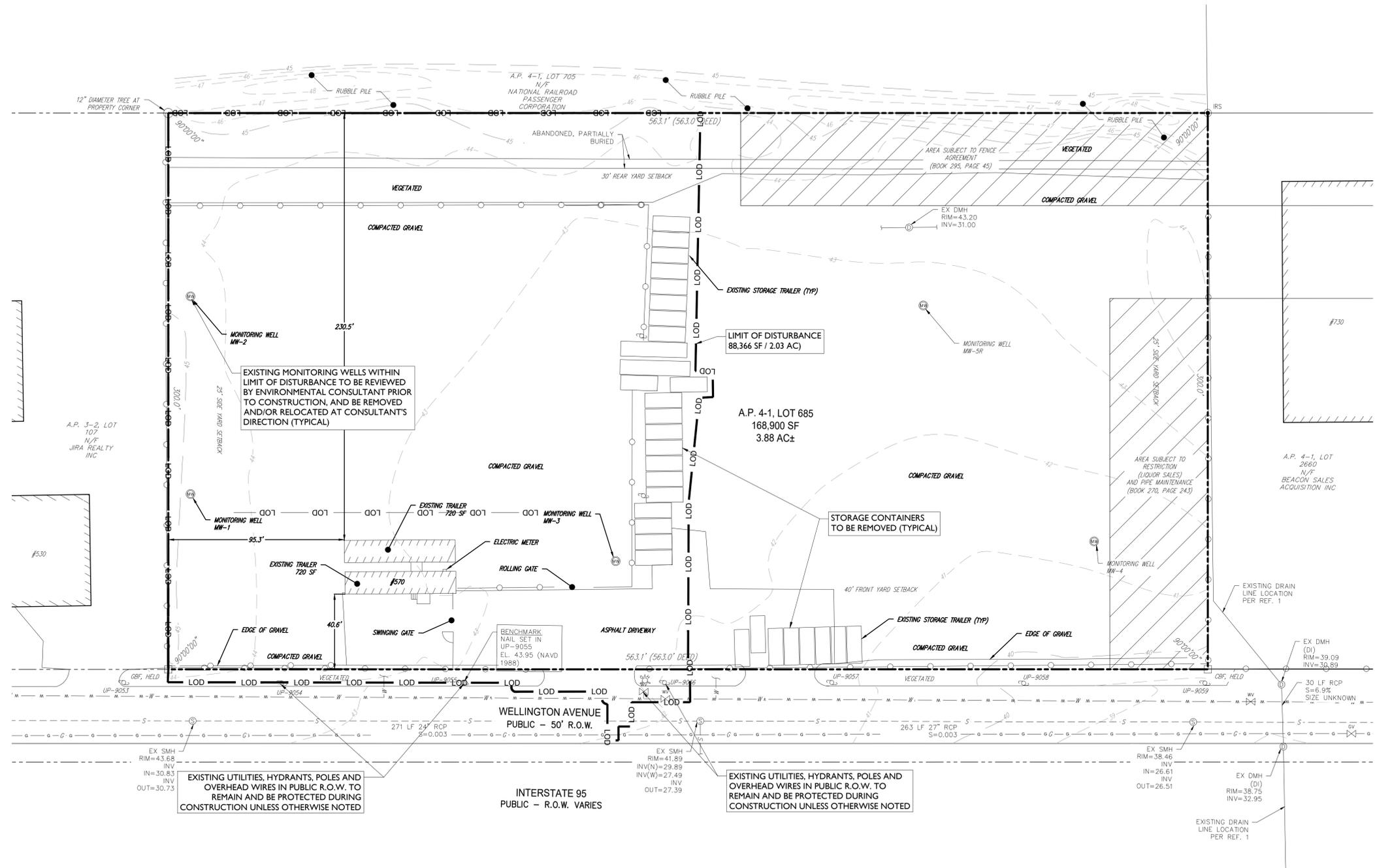




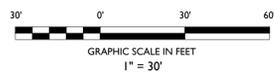
ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



SYMBOL	DESCRIPTION
---	SUBJECT PROPERTY LINE
- - - -	ABUTTING PROPERTY LINE
---	BUILDING SETBACK
---	EXISTING CURB
---	EXISTING EDGE OF PAVEMENT
---	EXISTING EDGE OF GRAVEL
---	EXISTING CHAIN LINK FENCE
---	EXISTING BUILDING
---	EXISTING CONTOUR
UP 4" 40'	EXISTING UTILITY POLE
⊙	EXISTING SEWER MANHOLE
---	EXISTING SEWER MAIN
⊙	EXISTING DRAIN MANHOLE
---	EXISTING DRAIN LINE
⊙	EXISTING GAS VALVE
---	EXISTING GAS LINE
⊙	EXISTING WATER VALVE
⊙	EXISTING HYDRANT
---	EXISTING WATER LINE
CBF	GRANITE BOUND FOUND
CBF	CONCRETE BOUND FOUND
IRS	IRON ROD SET
⊙	EXISTING ABANDONED RAILROAD TRACK
⊙	MONITORING WELL (APPROXIMATE PER REF. 2)



**SURVEY NOTES:**  
 THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



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ASSESSOR'S PLAT 4-1, LOT 685  
 570 WELLINGTON AVENUE  
 CITY OF CRANSTON  
 PROVIDENCE COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.  
 RHODE ISLAND LICENSE No. 13607  
 LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 30' PROJECT ID: BOS-230026

TITLE:  
**EXISTING CONDITIONS PLAN**

DRAWING:  
**C-2**

2:40:07/14/2023 10:52:30 AM 1:30 WELLINGTON AVENUE CRANSTON, RI 02901/10/2023 10:52:30 AM







LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 17.20.090.(f)	EXTERIOR LIGHTING SHALL BE SHIELDED OR REFLECTED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM ANY RESIDENTIAL DISTRICT	COMPLIES
§ 17.20.090.(i)	EXTERIOR LIGHTING, THE SOURCE OF WHICH WOULD BE VISIBLE FROM A PUBLIC STREET, SHALL HAVE ITS SOURCE REFLECTED OR REFRACTED SO AS TO DIRECT AND DISTRIBUTE THE LIGHT TO MINIMIZE GLARE	COMPLIES

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	1	LSI MIRADA SMALL AREA LIGHT - 1SL - FT - 40K - IH BACKSHIELD	FT	0.9	LSI INDUSTRIES	MRS-LED-1SL-FT-70CRI-HIES
	B	4	LSI MIRADA MEDIUM WALL SCONCE - 2 - ISL - 40 - UE	2	0.9	LSI INDUSTRIES	XWM-2-LED-ISL-40IES
	C	7	LSI LARGE COMMERCIAL WALL - 14L - FT - 40	FT	0.9	LSI INDUSTRIES	SLW-LED-14L-FT-UNV-DIM-40IES
	D	2	LSI EXCURSION CANOPY - 3L - TSN	5 NARROW	0.9	LSI INDUSTRIES	EKN-EGLED-03L-TSN-40-70CRI

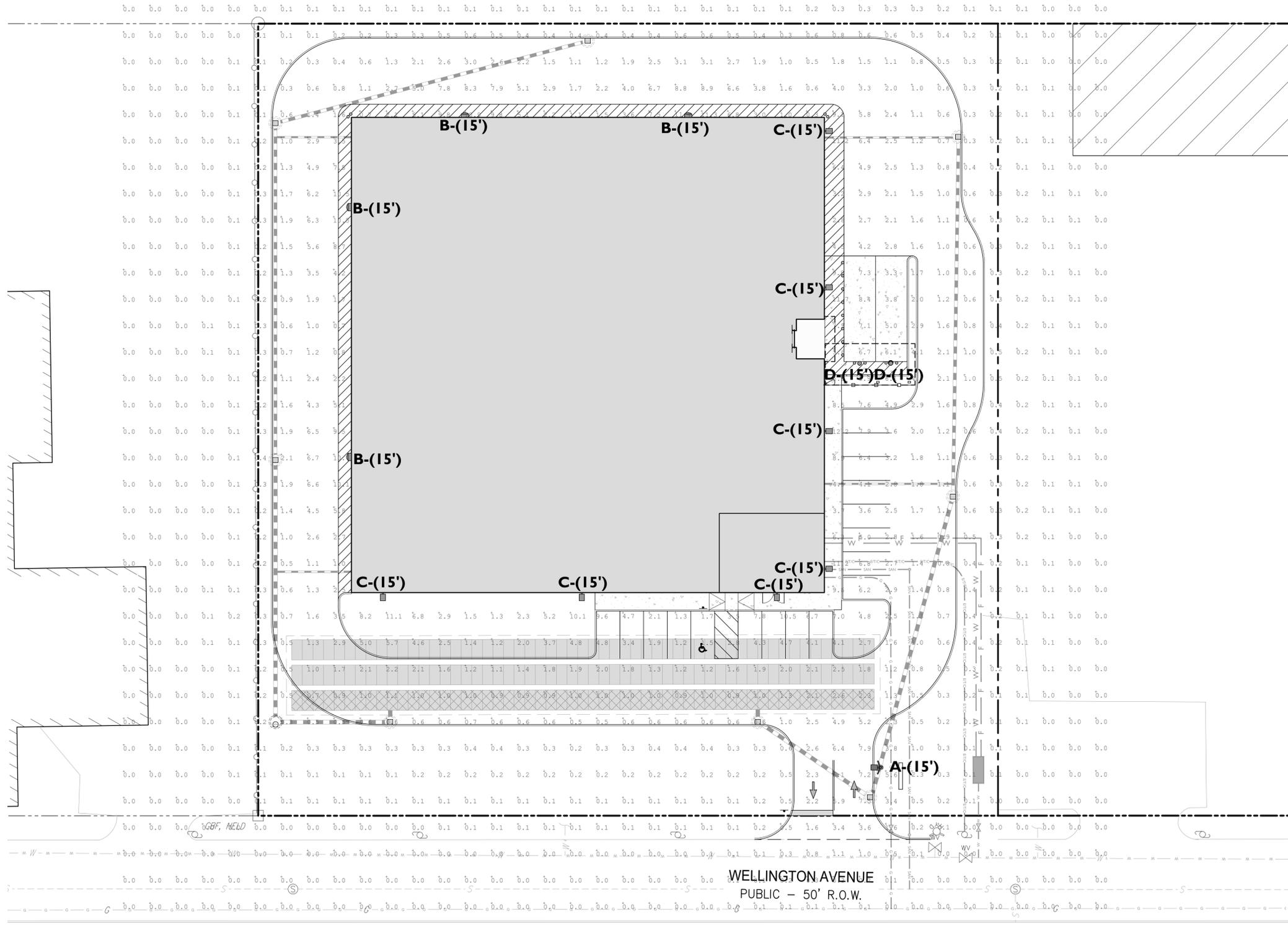
SYMBOL	DESCRIPTION
---	PROPOSED CALCULATION AREA
---	PROPOSED ISOMETRIC LINE
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+xx	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

**GENERAL LIGHTING NOTES**

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
  - LIGHT EMITTING DIODES (LED): 0.90
  - HIGH PRESSURE SODIUM: 0.72
  - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

**ATM LIGHTING NOTES**

- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
  - FIXTURE 'x' = MINIMUM X WATTS
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
- PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
- THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
- ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
- EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.



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SITE PLAN SET  
**HIGHWAY REALTY, LLC**  
PROPOSED SELF-STORAGE FACILITY  
& MINOR SUBDIVISION

ASSESSOR'S PLAT 4-1, LOT 685  
570 WASHINGTON AVENUE  
CITY OF CRANSTON  
PROVIDENCE COUNTY, RHODE ISLAND



JOSHUA H. KLINE, P.E.  
RHODE ISLAND LICENSE No. 13607  
LICENSED PROFESSIONAL ENGINEER

SCALE: 1" = 30' PROJECT ID: BOS-230026

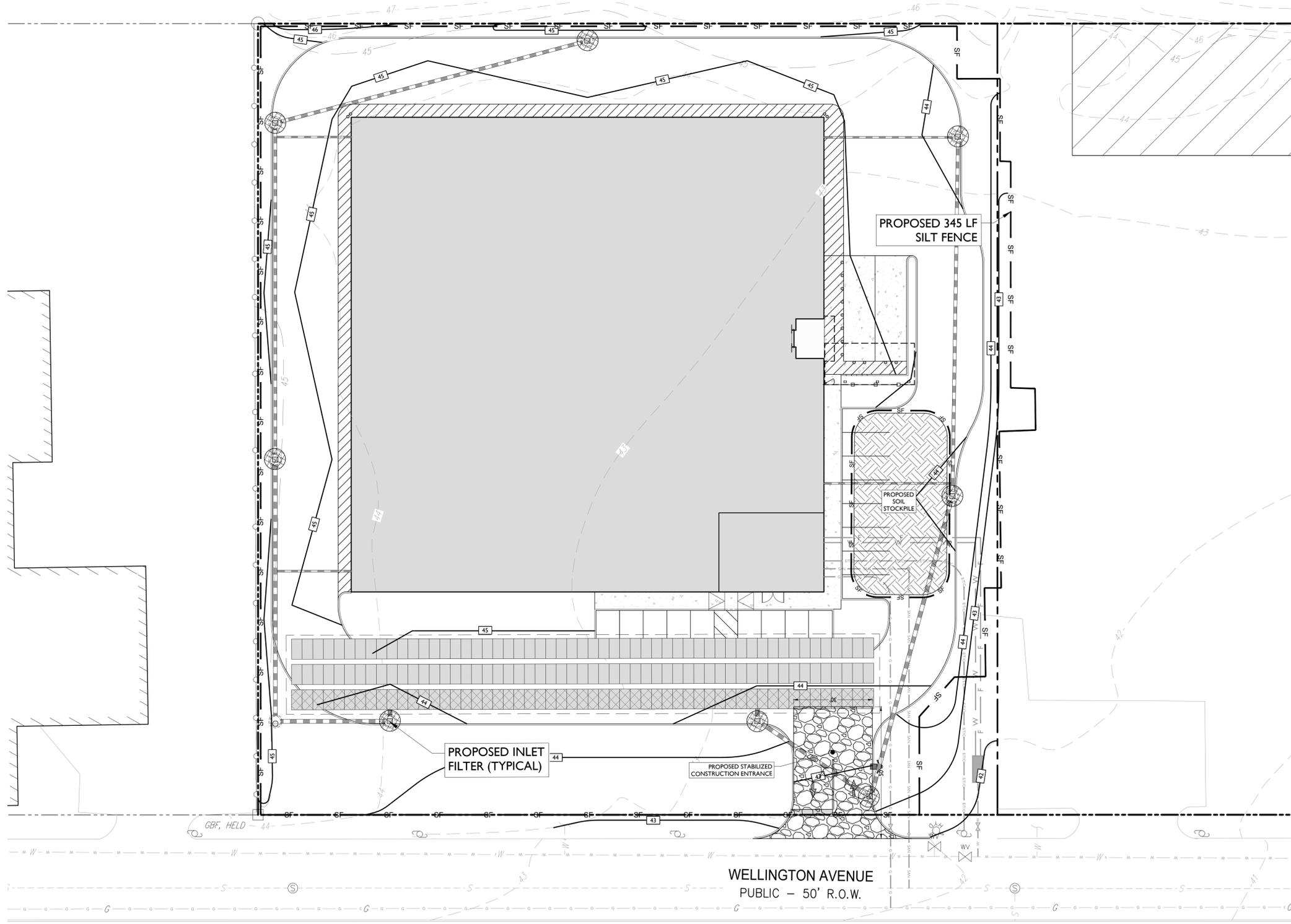
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LIGHTING PLAN

DRAWING:

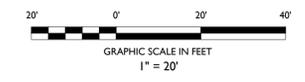
C-6

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SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - -	ADJACENT PROPERTY BOUNDARY
---	PROPOSED LIMIT OF DISTURBANCE
SF	PROPOSED SILT FENCE
---	PROPOSED TREE PROTECTION FENCE
[Hatched Box]	PROPOSED STOCKPILE & EQUIPMENT STORAGE
[Stippled Box]	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
[Circle with X]	PROPOSED INLET PROTECTION FILTER

- SOIL EROSION AND SEDIMENT CONTROL NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
  2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
  3. THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.



ISSUE	DATE	BY	DESCRIPTION
I	9/6/2023	JR	CITY SUBMISSION

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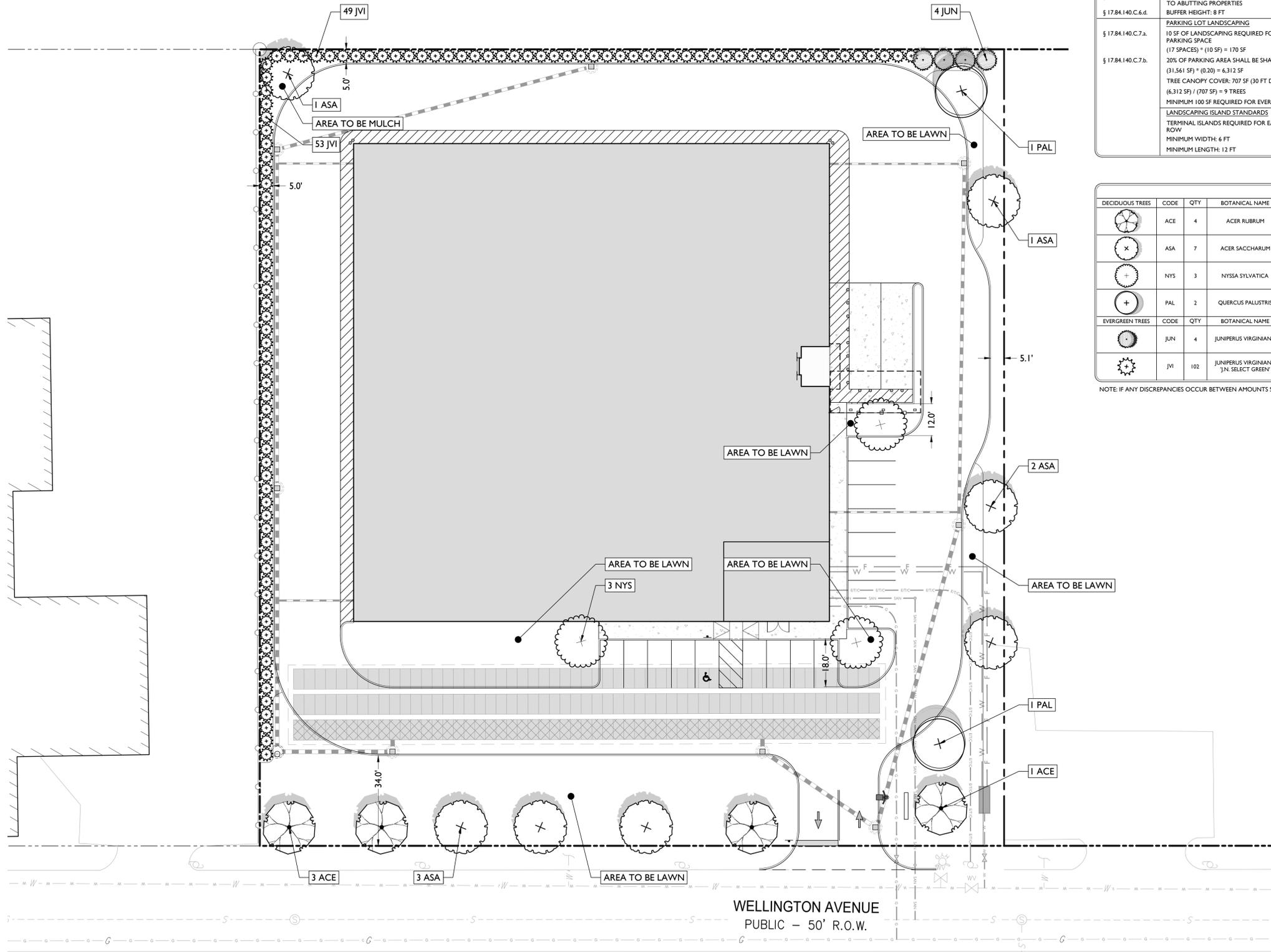
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SCALE: 1" = 20' PROJECT ID: BOS-230026

TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

DRAWING:  
**C-7**

2:00(07)140(02)0001 (R) WETWOOD REALTY - 135 WELLINGTON AVENUE, CHANTON, INC (020) 707(04) 04(L) LANDINGS



LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 17.84.140.C.1.b.	LANDSCAPE REQUIREMENTS MINIMUM 15% OF PARCEL SHALL BE LANDSCAPED (84,450 SF) * (0.15) = 12,668 SF	15,453 SF (18%) PROVIDED
§ 17.84.140.C.4.b.	STREET TREES 1 TREE FOR EVERY 35 LF OF FRONTAGE WELLINGTON AVENUE: 248 FT (248 FT) * (1 TREE / 35 FT FRONTAGE) = 7 TREES	7 TREES PROPOSED
§ 17.84.140.C.6.b.i.	BUFFER STRIPS MINIMUM 10 FT WIDE STRIP REQUIRED ALONG PROPERTY LINES WHERE PARKING ABUTS STREET	34.0 FT PROVIDED
§ 17.84.140.C.6.b.ii.	MINIMUM 5 FT WIDE STRIP REQUIRED ALONG PROPERTY LINES WHERE PARKING ABUTS NEIGHBORING PROPERTY	5.0 FT PROVIDED
§ 17.84.140.C.6.c.	PLANTING SHALL PROVIDE MAXIMUM PROTECTION TO ABUTTING PROPERTIES	COMPLIES
§ 17.84.140.C.6.d.	BUFFER HEIGHT: 8 FT	8.0 FT PROVIDED
§ 17.84.140.C.7.a.	PARKING LOT LANDSCAPING 10 SF OF LANDSCAPING REQUIRED FOR EVERY PARKING SPACE (17 SPACES) * (10 SF) = 170 SF	3,141 SF PROVIDED
§ 17.84.140.C.7.b.	20% OF PARKING AREA SHALL BE SHADED BY TREES (31,561 SF) * (0.20) = 6,312 SF TREE CANOPY COVER: 707 SF (30 FT DIAMETER) (6,312 SF) / (707 SF) = 9 TREES MINIMUM 100 SF REQUIRED FOR EVERY TREE	6,363 SF (20%) PROVIDED 9 TREES PROPOSED 100 SF PROVIDED
	LANDSCAPING ISLAND STANDARDS TERMINAL ISLANDS REQUIRED FOR EACH PARKING ROW MINIMUM WIDTH: 6 FT MINIMUM LENGTH: 12 FT	PROVIDED 12.0 FT PROVIDED 18.0 FT PROVIDED

PLANT SCHEDULE							
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	ACE	4	ACER RUBRUM	RED MAPLE	2.5" - 3" CAL	88B	NATIVE
	ASA	7	ACER SACCHARUM	SUGAR MAPLE	2.5" - 3" CAL	88B	NATIVE, DROUGHT TOLERANT
	NYS	3	NYSSA SYLVATICA	TUPELO	2.5" - 3" CAL	88B	NATIVE, SALT TOLERANT
	PAL	2	QUERCUS PALLISTRIS	PIN OAK	2.5" - 3" CAL	88B	NATIVE, SALT TOLERANT
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	REMARKS
	JUN	4	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	8' - 10' HT	88B	NATIVE, DROUGHT TOLERANT, SALT TOLERANT
	JVI	102	JUNIPERUS VIRGINIANA J.N. SELECT GREEN	EMERALD FEATHER EASTERN REDCEDAR	8' - 10' HT	88B	NATIVE, DROUGHT TOLERANT, SALT TOLERANT

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

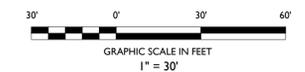


Know what's below  
Call before you dig.

**IRRIGATION NOTE:**  
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA PRIOR TO CONSTRUCTION. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON-SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

**LANDSCAPING NOTES**

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPED AREAS.



NO.	DATE	ISSUE	BY	DESCRIPTION
1	9/6/2023		JR	CITY SUBMISSION

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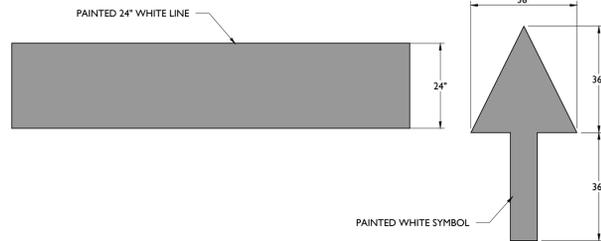
SCALE: 1" = 30' PROJECT ID: BOS-230026

TITLE:  
**LANDSCAPING PLAN**

DRAWING:  
**C-8**

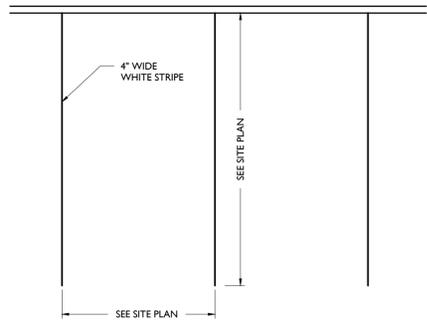






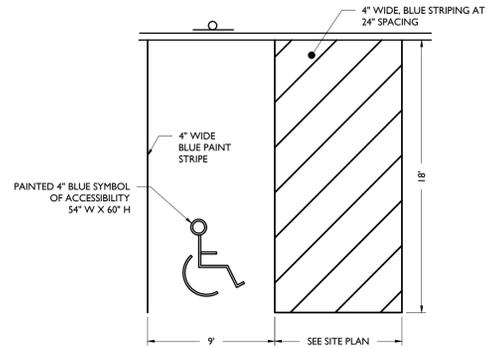
**STOP BAR & ARROW DETAILS**  
NOT TO SCALE

1



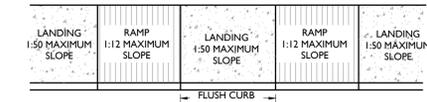
**PARKING STALL MARKINGS**

2



**ACCESSIBLE PARKING STALL MARKINGS**

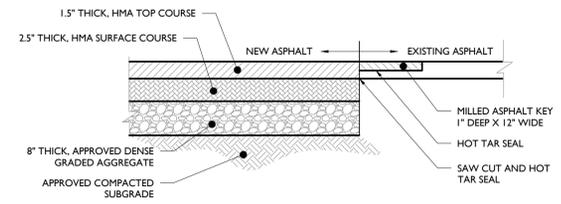
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**TRANSITION RAMP DETAIL**  
NOT TO SCALE

- NOTES:  
 1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%  
 2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.  
 3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL

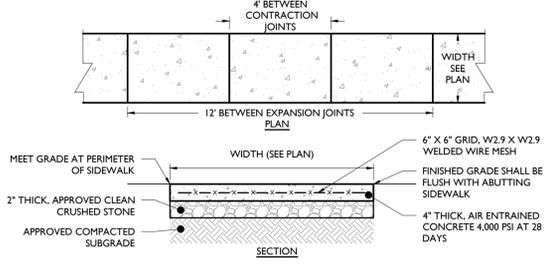
4



**FULL DEPTH ASPHALT PAVEMENT DETAIL**  
NOT TO SCALE

- NOTE:  
 1. HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS  
 2. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR PAVEMENT CROSS SECTION.

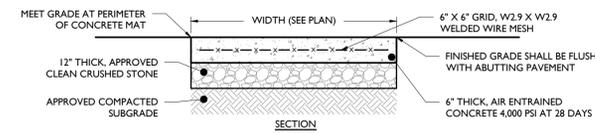
5



**REINFORCED CONCRETE WALKWAY DETAIL**  
NOT TO SCALE

- NOTES:  
 1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.  
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.  
 3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.  
 4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

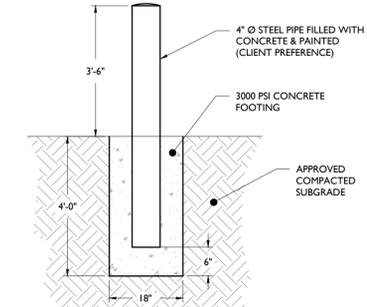
6



**REINFORCED 12\"/>
 CONCRETE MAT**  
NOT TO SCALE

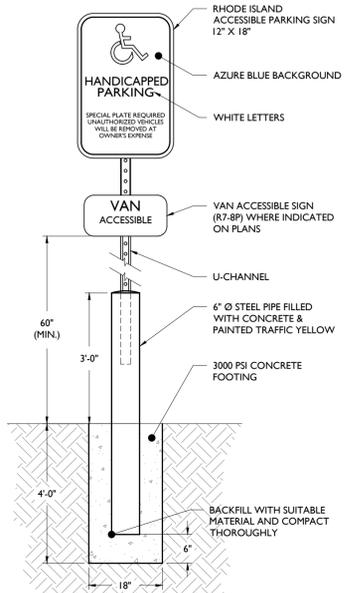
- NOTES:  
 1. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.  
 2. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.  
 3. CONCRETE SHALL RECEIVE BROOM FINISH.  
 4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.

7



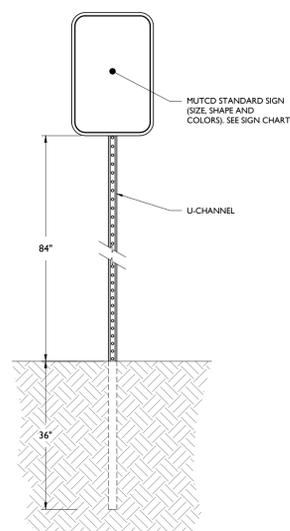
**BOLLARD DETAIL**  
NOT TO SCALE

8



**ACCESSIBLE PARKING SIGN WITH BOLLARD DETAIL**  
NOT TO SCALE

9



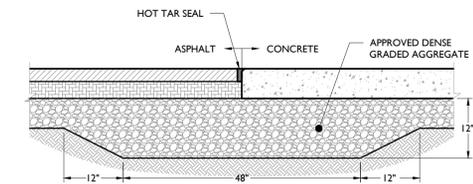
**SIGN POST DETAIL**  
NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	36"x36"	GROUND
DO NOT ENTER (R5-1)		RED	WHITE	30"x30"	GROUND

- NOTE:  
 1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.  
 2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

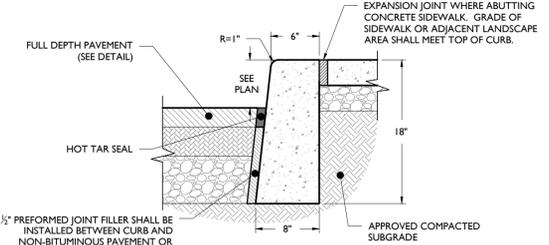
**SIGN DATA TABLE**  
NOT TO SCALE

10



**CONCRETE TO ASPHALT TRANSITION DETAIL**  
NOT TO SCALE

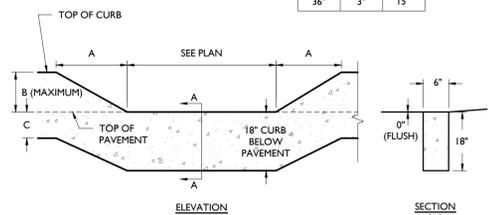
11



**CONCRETE CURB DETAIL**  
NOT TO SCALE

12

FLUSH CURB DIMENSIONS		
A	B	C
72"	6"	12"
60"	5"	13"
48"	4"	14"
36"	3"	15"



**FLUSH CURB DETAIL**  
NOT TO SCALE

13

ISSUE	DATE	BY	DESCRIPTION
1	9/6/2023	JR	CITY SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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**HIGHWAY REALTY, LLC**  
**PROPOSED SELF-STORAGE FACILITY**  
**& MINOR SUBDIVISION**

ASSESSOR'S PLAT 4-1, LOT 685  
 570 WELLINGTON AVENUE  
 CITY OF CRANSTON  
 PROVIDENCE COUNTY, RHODE ISLAND

JOSHUA H. KLINE, P.E.  
 RHODE ISLAND LICENSE No. 13607  
 LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: AS SHOWN PROJECT ID: BOS-230026

TITLE:  
**CONSTRUCTION DETAILS**

DRAWING:  
**C-10**

2:00/07/2023 09:52:30 AM 1:35 WELINGTON AVENUE, CRANSTON, RI 02904/07/2023 10:01:10 AM

### Mirada Small Area Light (MRS)

Have questions? Call us at (800) 436-7800

**ORDERING GUIDE** [Back to Quick Links](#)

**TYPICAL ORDER EXAMPLE:** MRS LED 3XL SL FT UNV DIM 40 70CRI ALSCS BLX H

Prefix	Light Source	Lumen Package	Lens	Distribution	Orientator*	Voltage	Driver
MRS - Mirada Small Area Light	LED	4L - 4,000 lm, 50W 6L - 6,000 lm, 75W 12L - 12,000 lm, 150W	SL - 30° x 30° SFL - 30° x 15° SLL - 15° x 15°	2 - Top 2 3 - Top 3 4 - Top 4	0 - Standard 1 - 0° beamwidth 2 - 15° beamwidth 3 - 30° beamwidth 4 - 45° beamwidth 5 - 60° beamwidth 6 - 75° beamwidth 7 - 90° beamwidth 8 - 120° beamwidth 9 - 150° beamwidth 10 - 180° beamwidth	120V - 120V 240V - 240V 480V - 480V	DM - 3-DIM (Dimming 0-100%) DMV - 3-DIM (Dimming 0-100%) DMV - 3-DIM (Dimming 0-100%)

**Color Temp** **Color Rendering** **Controls (Choose One)** **Finish** **Options**

30 - 3000K  
40 - 4000K  
50 - 5000K

90 - 90 CRI  
95 - 95 CRI

DM - 3-DIM (Dimming 0-100%)  
DMV - 3-DIM (Dimming 0-100%)  
DMV - 3-DIM (Dimming 0-100%)

**Need more information?** [Click here for our glossary.](#) **Have additional questions?** Call us at (800) 436-7800

**ACCESSORY ORDERING INFORMATION\***

DESCRIPTION	ORDER NUMBER	DESCRIPTION	ORDER NUMBER
Test Lock Product (200) for use with CXP	10204	Mirada Small	10204
Test Lock Product (200-270) for use with CXP	10205	Mirada Medium	10205
Test Lock Product (540) for use with CXP	10206	Mirada Large	10206
Test Lock Product (800) for use with CXP	10207	Mirada X-Large	10207
Mirada 3 Pin Test Lock Controller	60400	Wire Medium	60400
Mirada 3 Pin Test Lock Controller	60401	Wire Large	60401
Shorting Cap for use with CXP	10400	Wire Small	60402

1. Custom lumen and wattage packages available. Contact factory. Values are within industry standard tolerances but not guaranteed.  
2. Not available in "Top 3" orientation.  
3. Control dimming or dimming on multiple channels separately. See Accessories Information.  
4. Multiple sensors are not configurable on the CXP. Part can be downloaded from our webpage under software.  
5. Accessories are shipped separately and not included.  
6. \*CXP needs back to back system.  
7. Response time to receive back order. See Factory Access Guide for availability.

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### AREA LIGHT FIXTURE 'A' SPECIFICATIONS

NOT TO SCALE

1

### Mirada Medium Wall Sconce (XWM) Outdoor Wall Sconce

Have questions? Call us at (800) 436-7800

**ORDERING GUIDE** [Back to Quick Links](#)

**TYPICAL ORDER EXAMPLE:** XWM 2 LED 0SL 30 UE BRZ ALS

Family	Distribution	Light Source	Lumen Package	Color Temperature
XWM - Mirada Medium Wall Sconce	2 - Top 2 3 - Top 3 4 - Type 4 5 - Type 4 Forward Throw	LED	3L - 3,000 4L - 4,000 6L - 6,000 8L - 8,000 12L - 12,000 18L - 18,000 24L - 24,000 30L - 30,000 36L - 36,000 48L - 48,000 60L - 60,000 72L - 72,000 90L - 90,000 108L - 108,000 144L - 144,000 180L - 180,000 216L - 216,000 270L - 270,000 324L - 324,000 360L - 360,000 432L - 432,000 504L - 504,000 576L - 576,000 648L - 648,000 720L - 720,000 792L - 792,000 864L - 864,000 936L - 936,000 1008L - 1008,000 1080L - 1080,000 1152L - 1152,000 1224L - 1224,000 1296L - 1296,000 1368L - 1368,000 1440L - 1440,000 1512L - 1512,000 1584L - 1584,000 1656L - 1656,000 1728L - 1728,000 1800L - 1800,000 1872L - 1872,000 1944L - 1944,000 2016L - 2016,000 2088L - 2088,000 2160L - 2160,000 2232L - 2232,000 2304L - 2304,000 2376L - 2376,000 2448L - 2448,000 2520L - 2520,000 2592L - 2592,000 2664L - 2664,000 2736L - 2736,000 2808L - 2808,000 2880L - 2880,000 2952L - 2952,000 3024L - 3024,000 3096L - 3096,000 3168L - 3168,000 3240L - 3240,000 3312L - 3312,000 3384L - 3384,000 3456L - 3456,000 3528L - 3528,000 3600L - 3600,000 3672L - 3672,000 3744L - 3744,000 3816L - 3816,000 3888L - 3888,000 3960L - 3960,000 4032L - 4032,000 4104L - 4104,000 4176L - 4176,000 4248L - 4248,000 4320L - 4320,000 4392L - 4392,000 4464L - 4464,000 4536L - 4536,000 4608L - 4608,000 4680L - 4680,000 4752L - 4752,000 4824L - 4824,000 4896L - 4896,000 4968L - 4968,000 5040L - 5040,000 5112L - 5112,000 5184L - 5184,000 5256L - 5256,000 5328L - 5328,000 5400L - 5400,000 5472L - 5472,000 5544L - 5544,000 5616L - 5616,000 5688L - 5688,000 5760L - 5760,000 5832L - 5832,000 5904L - 5904,000 5976L - 5976,000 6048L - 6048,000 6120L - 6120,000 6192L - 6192,000 6264L - 6264,000 6336L - 6336,000 6408L - 6408,000 6480L - 6480,000 6552L - 6552,000 6624L - 6624,000 6696L - 6696,000 6768L - 6768,000 6840L - 6840,000 6912L - 6912,000 6984L - 6984,000 7056L - 7056,000 7128L - 7128,000 7200L - 7200,000 7272L - 7272,000 7344L - 7344,000 7416L - 7416,000 7488L - 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